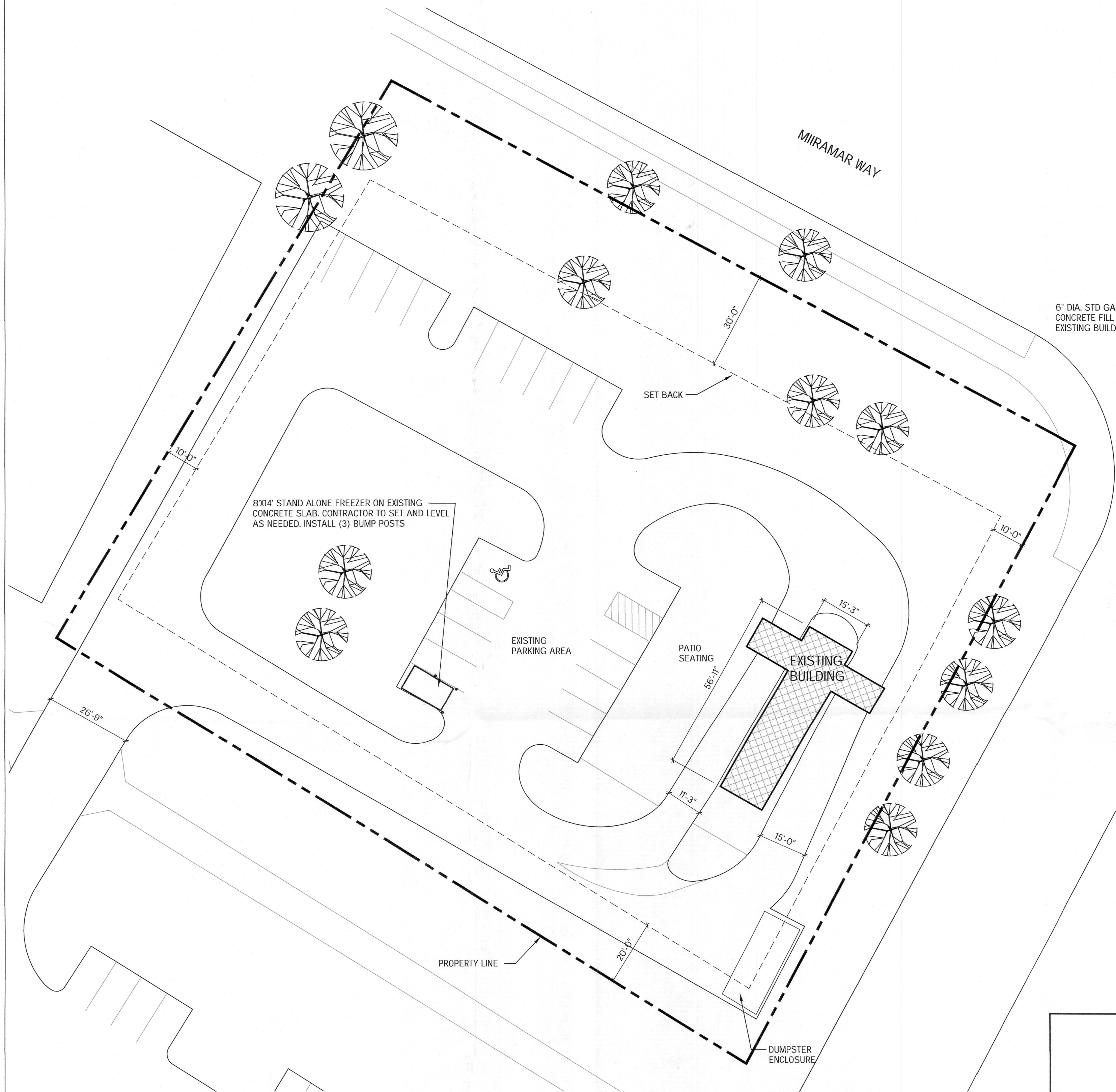




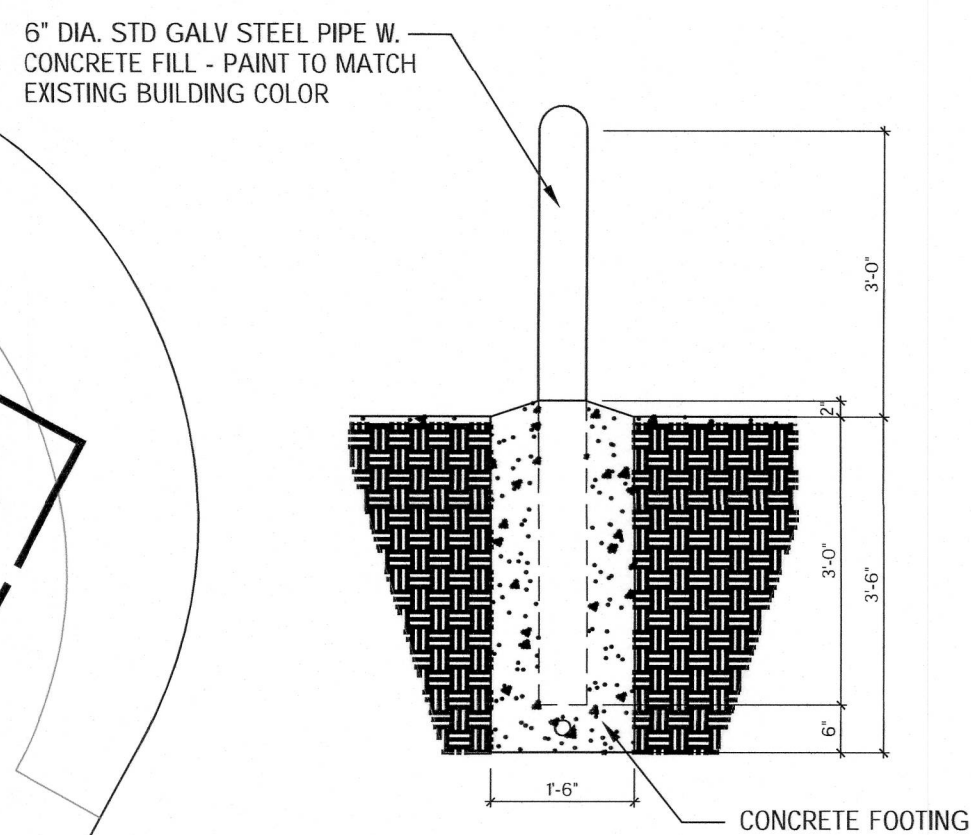
Schematic Site Plan
SCALE: 1" = 20'-0"

ZONING OVERLAY AE-4 NOTES

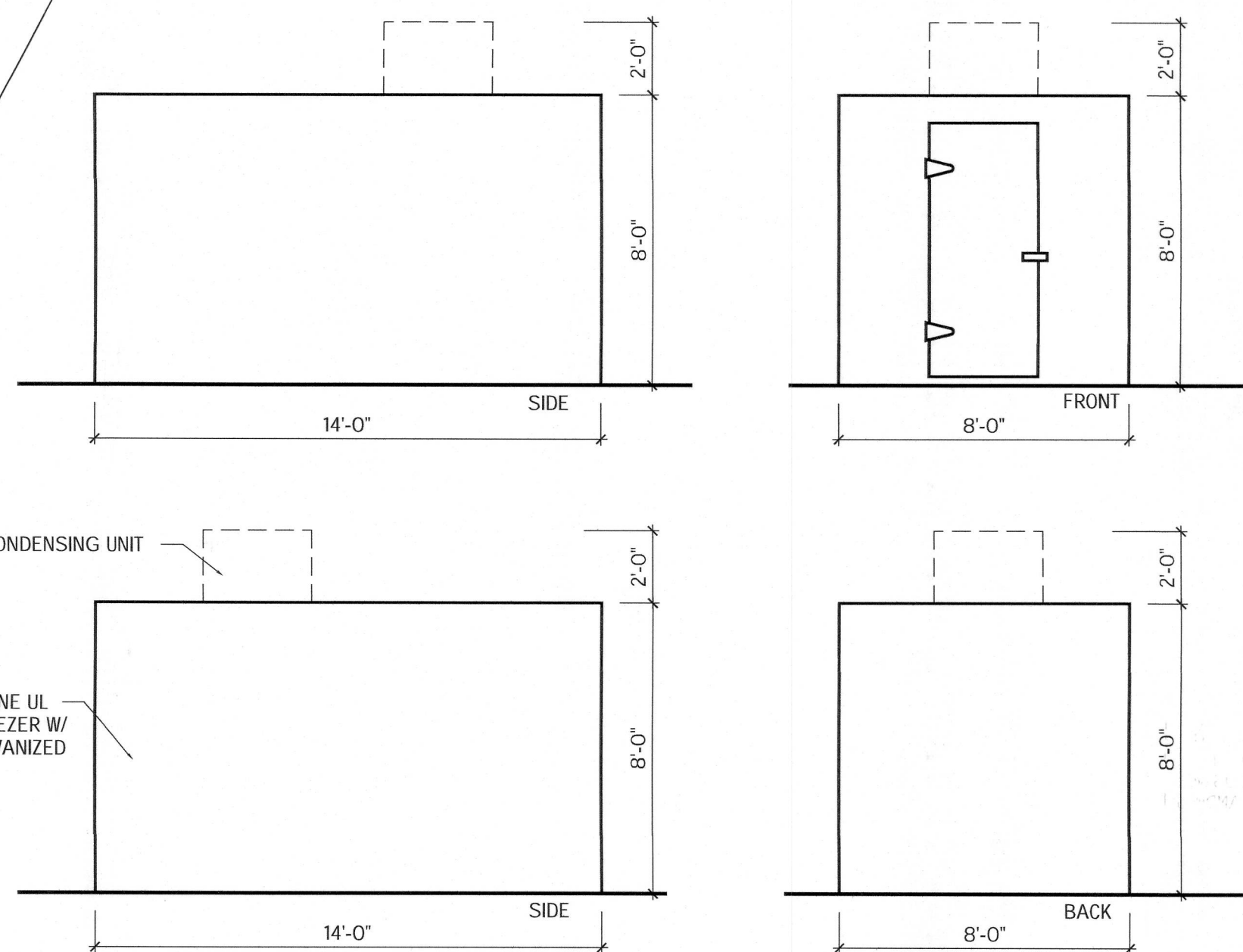
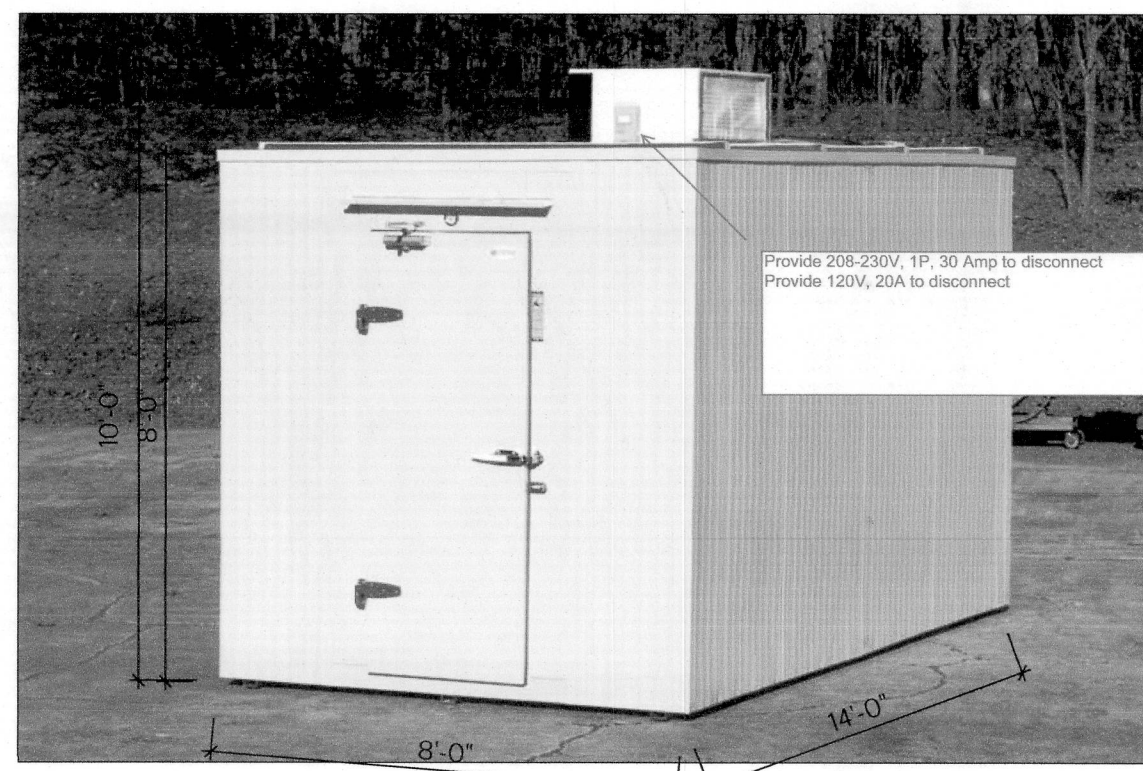
- A. WITHIN THE AREA OF THE TRACT HEREBY CREATED, NO STRUCTURE, ERECTION, OBJECT, GROWTH OF TREES, OR VEGETATION WITHIN THE BOUNDARIES OF THE TRACT HEREIN DESCRIBES, NOR ANY OTHER OBJECTS PLACED WITHIN SAID TRACT, SHALL PENETRATE THE AE OVERLAY SUBDISTRICT SURFACES OF AN AIRPORT OR HELIPORT. OWNER, HIS/HER/THEIR/ITS HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING AND PRUNING TREES AND VEGETATION, SO THIS HEIGHT RESTRICTION IS NOT EXCEEDED.
- B. THE LAND-OWNER EXPRESSLY RESERVES FOR THE USE AND BENEFIT OF ITSELF AND THE PUBLIC A RIGHT OF FLIGHT FOR THE PASSAGE OF AIRCRAFT IN THE AIRSPACE ABOVE THE LANDS IDENTIFIED HEREIN, TOGETHER WITH THE RIGHT TO CAUSE ABOVE SUCH TRACT ALL SUCH NOISE, FUMES, DUST, VIBRATION AND FUEL PARTICLES AS MAY BE INHERENT IN THE OPERATION OF AIRCRAFT USING SAID AIRSPACE USING SAID AIRSPACE FOR LANDING AND TAKING OFF FROM THE ST. MARY'S COUNTY REGIONAL AIRPORT AND OTHER REGULATED PUBLIC LANDING STRIPS.

Parking Summary:		ZONING ORDINANCE - MXM
USE GROUP:	FOOD ESTABLISHMENT	
BUILDING AREA:	1,107 S.F.	
REQUIRED PARKING:	13 SPACES PER 1,000 S.F. = 14 SPACES	
EXISTING PARKING:	22 SPACES INCLUDING 1 ACCESSIBLE SPACES	
REMAINING PARKING:	21 SPACES INCLUDING 1 ACCESSIBLE SPACES	

General Notes:	
SETBACKS: FRONT = 30'	BUILDING AREA = 1,107 S.F.
SIDE = 10'	BUILDING HEIGHT = 12'-6"
REAR = 20'	
NO PROPOSED CHANGES TO BUILDING, LANDSCAPING OR LIGHTING	
TOTAL DISTURBED AREA = 0	



Bump Post Detail
SCALE: 1/2" = 1'-0"



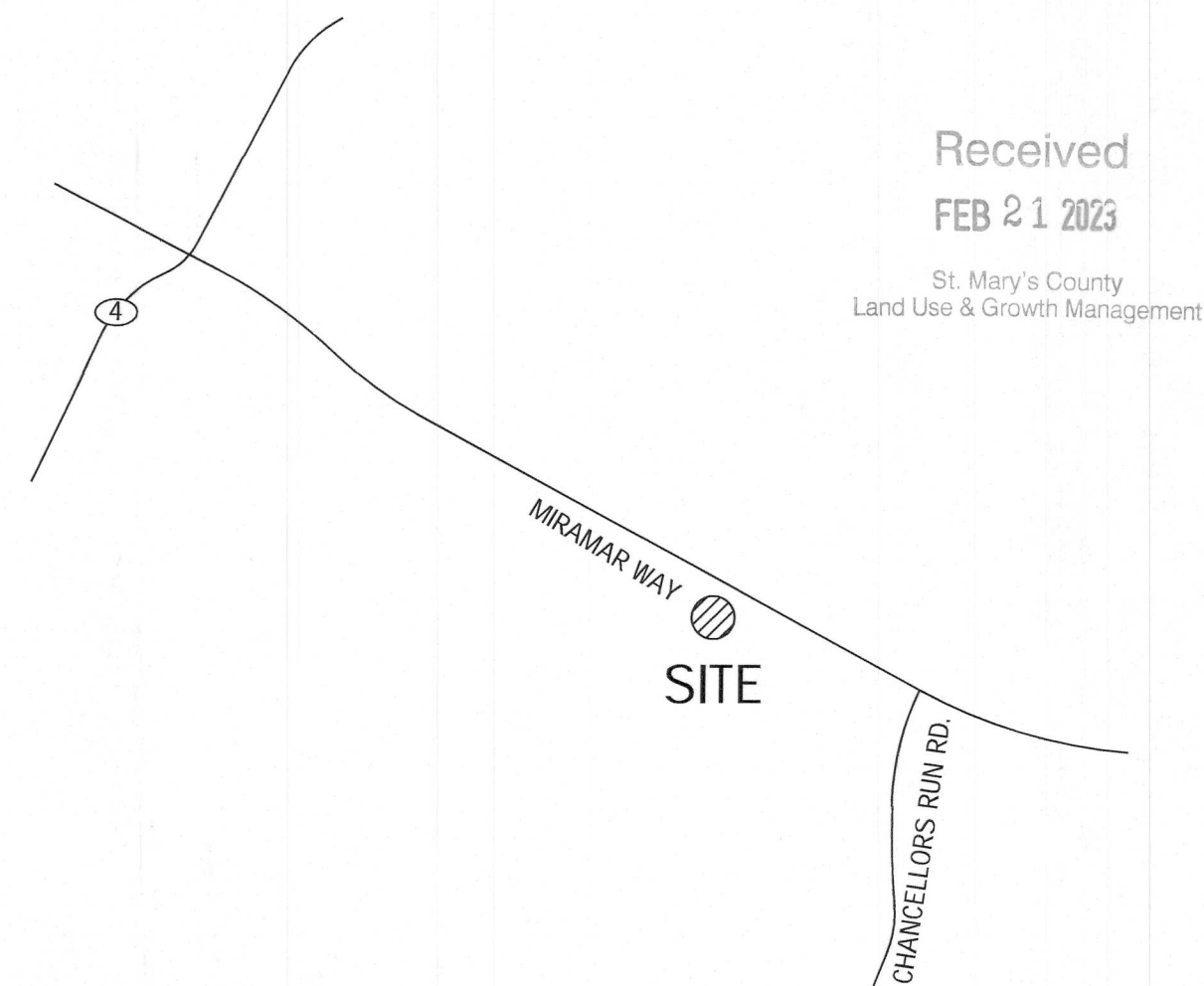
Freezer Elevations
SCALE: 1/4" = 1'-0"

Site Layout Plan Notes:

- THIS SURVEY WAS MADE FROM THE LEGAL DESCRIPTION OR DRAWINGS FURNISHED TO NEWCO BY THE OWNER AS BEING A COMPLETE DESCRIPTION OF THE PROPERTY. BOTH MAP AND DESCRIPTION SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE POLICY FOR ANY EXCEPTIONS, EASEMENTS, OR DIFFERENCES IN DESCRIPTION. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- UNDERGROUND UTILITY LOCATIONS SHOULD BE CONSIDERED ONLY AS APPROXIMATE. REFER TO CIVIL DRAWINGS BY OTHERS FOR ADD'L INFORMATION.
- ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON THIS SITE WHICH ARE NOT SHOWN ON THIS PLAN. CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL UTILITIES ON SITE, WHETHER SHOWN ON THIS PLAN OR NOT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES FOR THE PROTECTION AND/OR RELOCATION OF EXISTING UTILITIES.
- ALL CONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF WORK.
- REQUEST FOR CONSTRUCTION STAKING SHALL BE DIRECTED TO THE ENGINEER A MIN. OF 48 HOURS PRIOR TO THEIR ACTUAL NEED.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AS PART OF THIS WORK.
- CONTRACTOR SHALL PROVIDE TEMPORARY BERMING AND FILTERING OF PROPERTY LINES WHERE EROSION COULD OCCUR. MINIMIZATION OF TRACKING OF MATERIALS OFF SITE, SWEEPING AND CLEANING OF ADJACENT STREETS AS NECESSARY, AND OBTAINING SOIL EROSION CONTROL PERMITS.
- CONTRACTOR SHALL PROVIDE ALL SIGNS, FENCING, LIGHTS, BARRICADES, ETC. AS NECESSARY TO PROVIDE PUBLIC SAFETY DURING CONSTRUCTION.
- ALL MATERIALS PLACED DURING CONSTRUCTION SHALL BE IN NEW CONDITION, SHALL BE FREE FROM DEFECTS AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE.
- FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL SEWER MAINS & MANHOLES BEFORE CONSTRUCTION.
- ALL SANITARY SEWER PIPE SHALL BE SDR 35 PVC PIPE WITH PREMIUM GRADE JOINTS. PROVIDE 4" DIA. CLEAN OUTS AT 100' CENTERS (MAX) WITH EAST JORDAN IRON WORKS H.D. COVER #1570 FLUSH WITH FINISH GRADE.
- STORM SEWER PIPE SHALL BE SDR 35 PVC WITH PREMIUM GRADE JOINTS, UNLESS NOTED OTHERWISE ON PLANS. PERFORATED STORM SEWER PIPE SHALL BE HANCOR HI-Q OR EQUAL AND SHALL BE JOINED WITH COUPLING BANDS OR EXTERNAL SNAP COUPLERS COVERING AT LEAST TWO FULL CORRUGATION ON EACH END OF THE PIPE, UNLESS NOTED OTHERWISE ON PLANS.
- THE CONTRACTOR SHALL BED AND BACKFILL ALL UNDERGROUND PIPING WITH MDOT CL-2 SAND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY, PER ASTM-1557.
- ALL MANHOLES AND CATCH BASINS SHALL BE MIN. 4' DIA. PRE-CAST CONCRETE.
- PROVIDE SLEEVES UNDER ALL CONCRETE SIDEWALKS.
- ALL CONCRETE WORK SHALL BE 5% TO 7% AIR ENTRAINED, Fc = 3,500 PSI.
- ALL CURBS AND WALKS TO CONFORM TO LOCAL CODES AND ORDINANCES. VERIFY WITH THE CITY FOR STANDARDS. WHERE APPARENT DISCREPANCIES OCCUR, CONTACT ARCHITECT FOR RESOLUTION.
- SPACE CONTROL JOINTS IN CONCRETE WALKS AT 5'-0" MAX, U.N.O.
- SPACE EXPANSION JOINTS IN CURBS AT 24'-0" MAX, UNLESS NOTED OTHERWISE.
- PROVIDE ISOLATION JOINTS BETWEEN FLATWORK AND THE BUILDING.
- SLOPE ALL WALKS, FILLS, AND PAVED AREAS TO DRAIN AWAY FROM BUILDING. DO NOT EXCEED CROSS SLOPE OF 2% ON WALKS.
- SCHEDULE PLACEMENT OF SLABS ON GRADE TO MINIMIZE DIFFERENTIAL SETTLEMENT WITH BUILDING DEAD LOAD.
- UNLESS OTHERWISE INDICATED, MEET EXISTING GRADES WITHIN THE PROPERTY BOUNDARY.
- DIMENSIONING SHOWN IS TO THE FACE OF FOUNDATION AT ALL STRUCTURES.
- RADIi SHOWN ARE TO THE OUTSIDE FACE OF CURB OR OUTSIDE STRIPE EDGE.
- ALL DISTURBED AREA SHALL BE RESTORED WITH 4" TOPSOIL, SEED, FERTILIZER, AND MULCH. RESTORATION OF ANY SLOPES OF 1:3 OR GREATER SHALL HAVE 4" TOPSOIL, SEED, FERTILIZER AND EROSION CONTROL BLANKET, INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- THE CONTRACTOR SHALL CONNECT THE ROOF DRAINS TO THE ON SITE STORM SEWER SYSTEM.
- PROTECT EXISTING CATCH BASINS FROM DIRT AND SILT INFILTRATION.

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 20205, EXPIRATION DATE 12/07/2023

OWNER SIGNATURE



Site Location
SCALE: NONE

Site Plan APPROVED in accordance with St. Mary's County Zoning Ordinance.
P.C. Approval Date: 2/23/2023
Signature Date: 2/23/2023
Authorized Signature: [Signature]

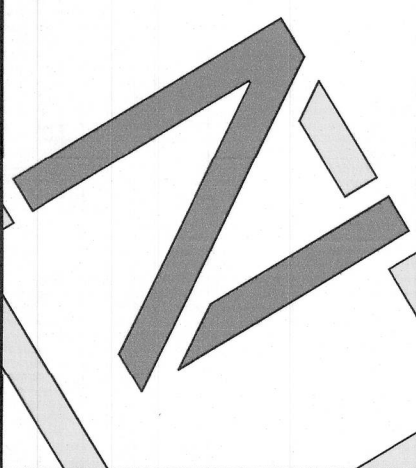
"Approval of site plan submitted under the provisions of this ARTICLE shall require one (1) year after the date of such approval unless building permits have been obtained for construction in accordance therewith" (Section 60.3)

MINOR SITE PLAN
MSP22-0290
TAX MAP Q34, BLOCK 024, PARCEL NUMBER 232
ZONING: MXM
ZONING OVERLAY: AE-4

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG!
1-800-257-7777 (TOLL FREE)

PUBLIC UTILITIES OF ALL TYPES HAVE BEEN SHOWN ON THESE PLANS USING THE INFORMATION AVAILABLE, BUT ARE NOT GUARANTEED AS ACCURATE OR THAT UTILITIES OTHER THAN THOSE SHOWN ARE NOT PRESENT. CONTRACTOR SHALL CONTACT MISS DIG AT 1-800-257-7777 FOR INFORMATION AND NOTIFY UTILITY COMPANIES THREE WORKING DAYS PRIOR TO COMMENCING WORK.

NEWCO
Design Build LLC
4131 Roger B. Chaffee Memorial Blvd. SE
Grand Rapids, MI 49548
(616) 493-9340 Tel.
(616) 493-9344 Fax
www.NewcoDB.com



SEAL: [Seal]
01/05/2023

ARCHITECT: BRADFORD W. POTTER
PROJECT No.: 30-00777

#	DATE	ISSUED FOR
1/5/23	REVISIONS	
1/17/22	REVISIONS	
10/11/22	REVISIONS	
1/3/22	REVISIONS	
12/16/21	REVISIONS	
10/21/21	SITE LAYOUT	
#	DATE	ISSUED FOR

PROJECT NAME: CHECKER'S STORE 5822 BUN FREEZER LOCATION
45500 MIRAMAR WAY CALIFORNIA, MD 20619
SHEET TITLE: Site Layout Plan, Notes, and Details
SHEET No.: SL-1