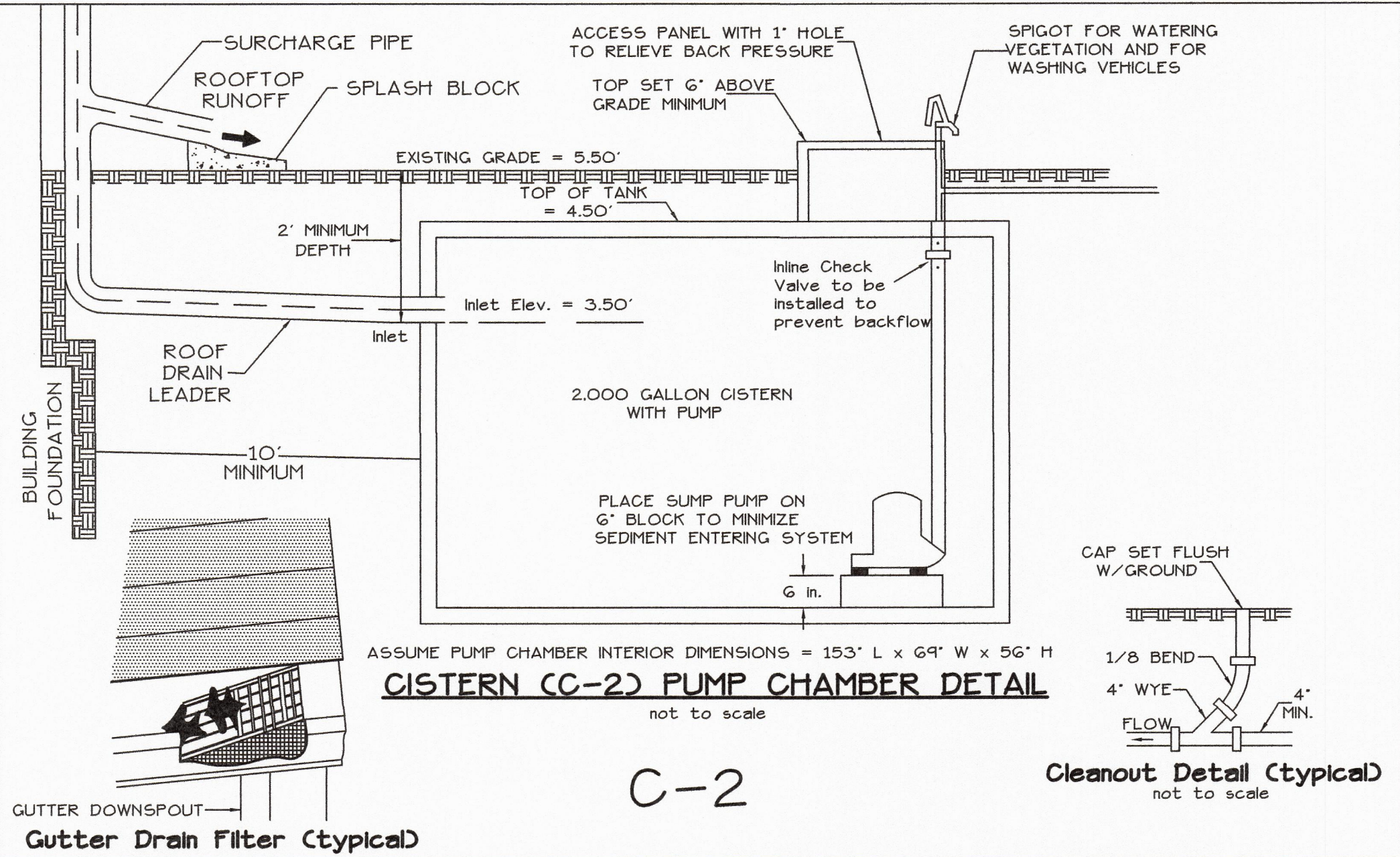
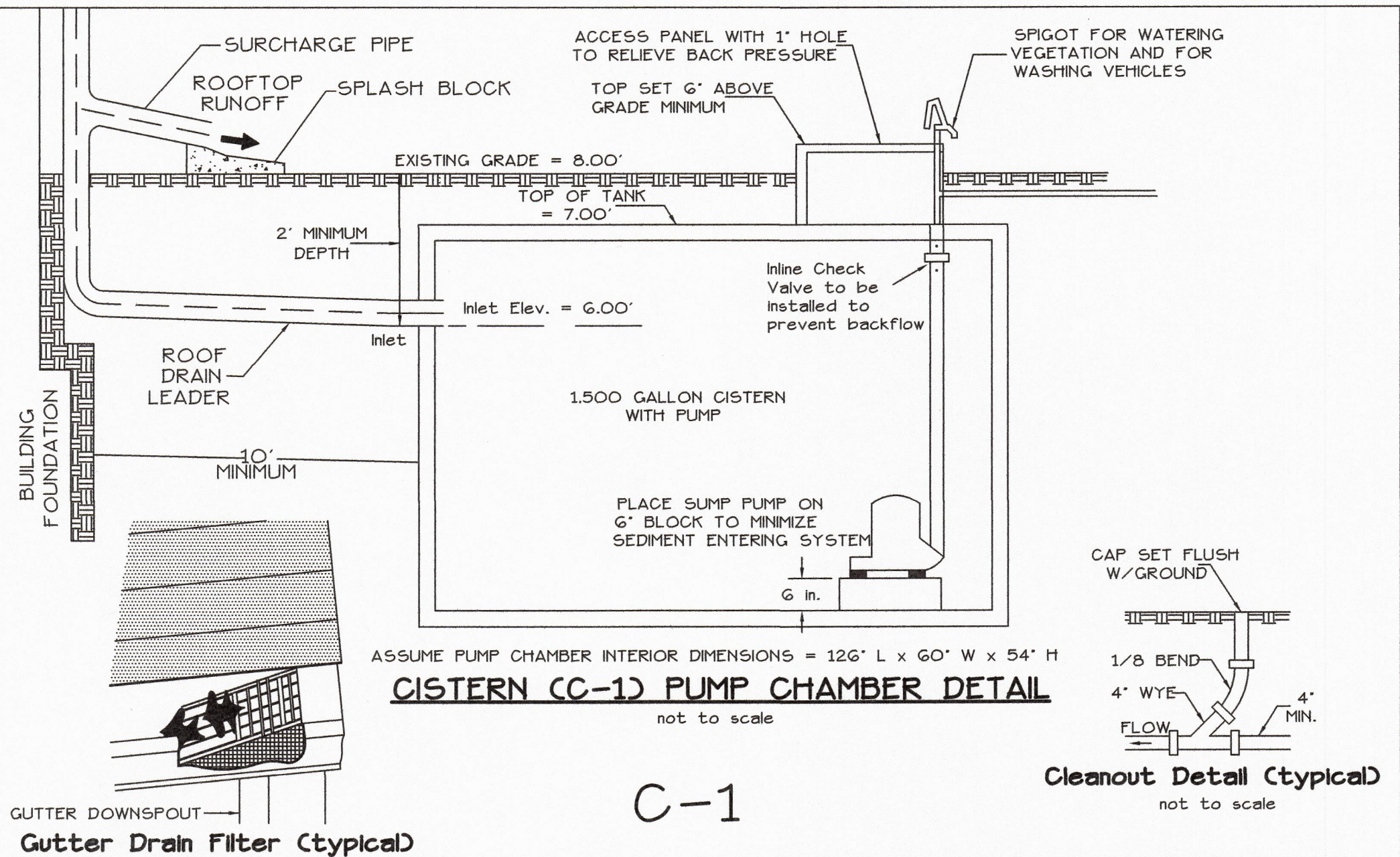


CISTERN OPERATION:
1. STORAGE TANKS MUST BE MAINTAINED AND OPERATED THROUGHOUT THE YEAR WHEN THE TEMPORATURE IS ABOVE 32 DEGREES F.
2. AS MUCH STORAGE WATER AS POSSIBLE SHOULD BE UTILIZED BETWEEN STORM EVENTS.
3. APPROXIMATELY 24 HOURS AFTER EACH RAIN EVENT, AT LEAST HALF OF THE WATER STORED IN THE CISTERN SHALL BE USED TO IRRIGATE THE LAWN AREAS. THE BALANCE OF THE WATER STORD IN THE CISTERN WILL BE USED TO IRRIGATE PLANT BEDS AND TO WASH VEHICLES.



CISTERN CONSTRUCTION AND INSPECTION CRITERIA

CONSTRUCTION CRITERIA

1. UNDERGROUND STORAGE TANKS SHALL BE PLACED ON OR IN NATIVE SOILS. IF PLACEMENT ON FILL MATERIAL IS NECESSARY, A GEOTECHNICAL ANALYSIS MAY BE REQUIRED BY THE APPROVING AUTHORITY.
2. STORAGE TANKS SHALL BE DESIGNED TO BE WATERTIGHT AND ALL MATERIALS SHOULD BE SEALED WITH A WATER SAFE, NON-TOXIC SUBSTANCE.
3. STORAGE TANKS SHALL BE PROTECTED FROM DIRECT SUNLIGHT AND SHALL BE OPAQUE TO PREVENT THE GROWTH OF ALGAE.
4. TOP OF UNDERGROUND TANKS SHALL BE BENEATH THE FROST LINE.
5. CISTERNS MAY BE ORDERED FROM A MANUFACTURER OR CONSTRUCTED ON-SITE. TYPICAL MATERIALS USED TO CONSTRUCT CISTERNS ARE FIBERGLASS, WOOD, METAL, OR REINFORCED CONCRETE.
6. RAIN BARRELS CAN BE PURCHASED OR CUSTOM MADE FROM LARGE, PLASTIC (E.G., 55 GALLON) DRUMS.

INSPECTION CRITERIA

1. PRIOR TO OPERATION, CERTIFICATION, SHALL BE REQUIRED THAT THE CONSTRUCTED SYSTEM MEETS THE CONDITIONS SPECIFIED ON THE APPROVED PLANS. ADDITIONALLY, CERTIFICATION REGARDING THE WATER TIGHTNESS OF THE UNDERGROUND STORAGE TANK SHALL BE REQUIRED AFTER ITS INSTALLATION.

CISTERN MAINTENANCE CRITERIA

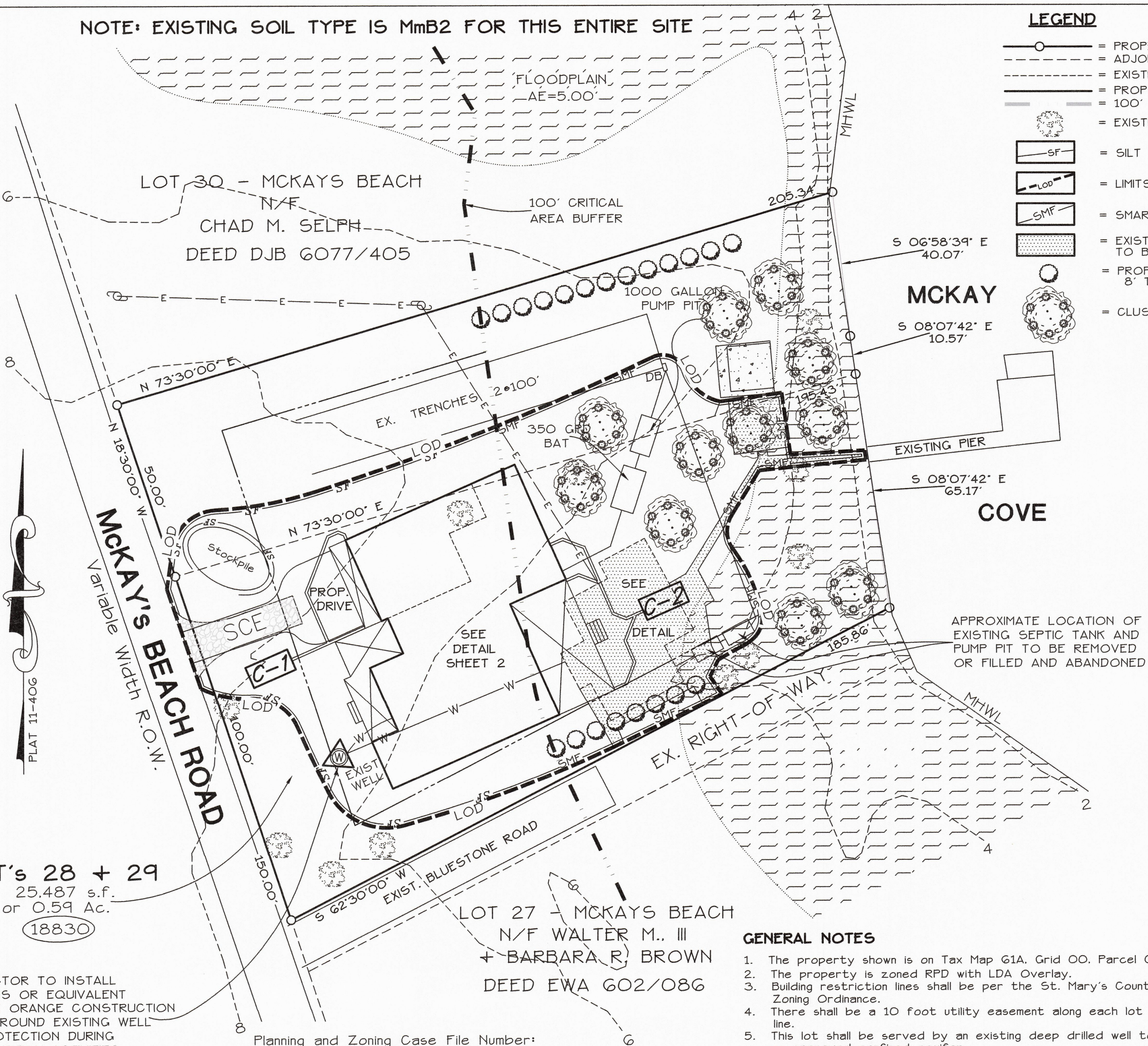
- Damaged components should be replaced as needed.
- Privately owned practices shall have a maintenance plan and shall be protected by easement, deed restriction, ordinance, or other legal measures preventing its neglect, adverse alteration, and removal.
- Access shall be provided for cleaning, inspection, and maintenance in all cisterns. A drain plug shall also be provided to allow the system to be completely emptied if needed. (Noting this plan has a pump installed.)
- Leaf screens, gutters, and downspouts should be cleaned to prevent clogging. Built-up debris can also foster bacterial growth in gutters and downspouts.
- Storage tank lids and mosquito screens should be inspected and cleaned.
- To avoid freezing of components, above ground systems should be disconnected, drained, and cleaned at the start of the Winter season.
- Underground system connections should be checked for frozen lines and ice blockages during Winter.
- Indoor systems may require more specific maintenance.

ST. MARY'S COUNTY
HEALTH DEPARTMENT

APPROVAL DATE

DIRECTOR, ENVIRONMENTAL HEALTH

NOTE: EXISTING SOIL TYPE IS MmB2 FOR THIS ENTIRE SITE



Planning and Zoning Case File Number:
SFDD21-1442
Tax Map G1A, Grid 00, Parcel 05

Owner/Developer
Walter + Barbara Brown
18822 McKays Beach Road
Leonardtown, MD. 20650
Phone: 301-758-9796

Total Disturbed Area: 13,795 S.F. or
0.32 Ac.

Permit Area: 0.59 Acres

Vegetative Stabilization = 0.21 Ac.

Cut 125 CY
Fill 323 CY

Lot Coverage Calculations

Allowable Lot Coverage (21,781 sf - 36,300 sf = 5,445 sf)					
Existing			Proposed		
Structure	Inside 100' Buffer	Outside 100' Buffer	Structure	Inside 100' Buffer	Outside 100' Buffer
House	1,076 Sq. Ft.	0 Sq. Ft.	House	355 Sq. Ft.	2,144 Sq. Ft.
Shed	0 Sq. Ft.	0 Sq. Ft.	Porches	541 Sq. Ft.	334 Sq. Ft.
Drive	0 Sq. Ft.	0 Sq. Ft.	Garage	0 Sq. Ft.	891 Sq. Ft.
Shed	226 Sq. Ft.	0 Sq. Ft.	Drive	0 Sq. Ft.	651 Sq. Ft.
Conc. Walk/Peds	800 Sq. Ft.	0 Sq. Ft.			
Total	2,133 Sq. Ft.	0 Sq. Ft.	Total	896 Sq. Ft.	4,020 Sq. Ft.
Total = 2,133 Sq. Ft.			Total = 4,916 Sq. Ft.		

LOT COVERAGE to be removed (TBR)

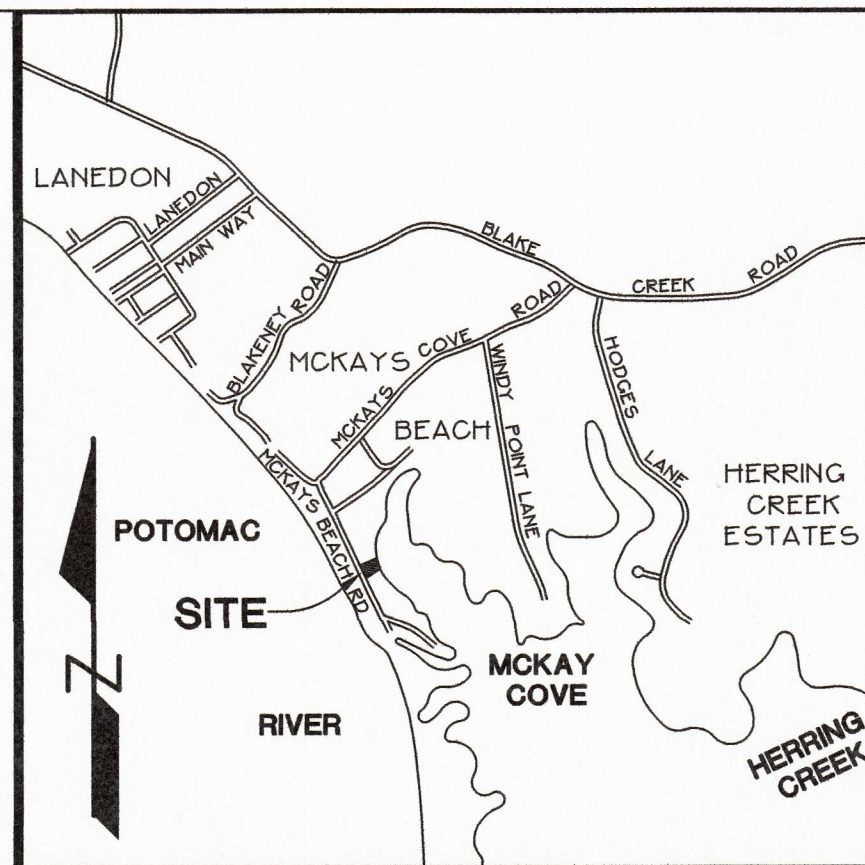
House	1,076 Sq. Ft.
Shed	226 Sq. Ft.
Conc	585 Sq. Ft.
TOTAL	1,887 Sq. Ft.

POST DEVELOPMENT LOT COVERAGE

Existing Lot Coverage	2,133 Sq. Ft.
- Lot Coverage (TBR)	1,887 Sq. Ft.
+ Proposed Lot Coverage	4,916 Sq. Ft.
TOTAL	5,162 Sq. Ft.
- ORIGINAL Lot Coverage	2,133 Sq. Ft.
Proposed New Lot Coverage	3,029 Sq. Ft.)

LEGEND

- = PROPERTY LINE
- = ADJOINING PROPERTY LINES
- - - - - = EXISTING BUILDINGS
- - - - - = PROPOSED DWELLING LINES
- - - - - = 100' C.A. BUFFER
- = EXISTING TREES
- SF— = SILT FENCE
- LOO— = LIMITS OF DISTURBANCE
- SMF— = SMART FENCE (42")
- = EXISTING LOT COVERAGE TO BE REMOVED
- = PROPOSED 2" CALLIPER 8' TREE (21)
- = CLUSTER 2 (11)



VICINITY MAP SCALE 1" = 2000'
TAX MAP: G1A BLOCK: 00 PARCEL 05

CRITICAL AREA NOTES:

1. Approximately 0.59 acres of this site lie in within Maryland's Critical Area. Any and all development activities proposed within this area are subject to Critical Area regulations and will not be permitted until all appropriate local, state and federal agencies have conducted a thorough environmental review and have approved the development plan.
2. The Critical Area Buffer must remain in natural vegetation and may not be disturbed except as provided under Chapter 71, Section 8 (Habitat Protection Standards) of the St. Mary's County Comprehensive Zoning Ordinance (CO2-01), as Amended).
3. No development is permitted in wetlands without approval from appropriate local State and Federal agencies. This site site has not been field evaluated for tidal or non-tidal wetlands.
4. All existing forest shown hereon shall remain undisturbed except as permitted under the provisions of Chapter 72 (Forest and Woodland Resources, in the Critical Area) of the st. Mary's County Comprehensive Zoning Ordinance. Any and all afforested or reforested areas created under the provisions of the St.Mary's County Critical Area Ordinance and designated on this plat shall be preserved from future disturbance.
5. This subdivision has been prepared in accordance with deeds and plats of record and the thereof does not assure title to any portion or portions of said property which may lie beyond the natural mean high water mark or tidal wetlands. In accordance with the State Critical Area laws of density rights, and furthermore, a 100 foot buffer as shown shall be maintained from the said mean high water or adjacent tidal wetlands since the riparian rights to the same are subject to the regulatory powers of the State and Federal Governments.
6. Locations of natural heritage areas, habitats of threatened or endangered species and habitats of significant plants or wildlife are identified on this plat in accordance with Section 71.8 of the St. Mary's County Area Ordinance.
7. Existing impervious surfaces within the Critical Area Buffer
----- 2,133 s.f.
8. Slopes greater than 15% ----- 0 s.f.
9. Existing trees/tree line ----- 3,300 s.f.
10. Existing impervious surfaces outside C.A. Buffer ----- 0 s.f.
11. Existing impervious surfaces to be removed ----- 1,887 s.f.
12. Areas of vegetative clearing ----- 600 s.f.
13. Proposed soil disturbance ----- 13,975 s.f.
14. Proposed impervious surface ----- 4,916 s.f.
15. Required reforestation ----- 0 -
16. Required afforestation ----- 4,916 s.f. - Trees

CRITICAL AREA SITE PLAN

TO REPLACE EXISTING DWELLING

18830 MCKAYS BEACH ROAD

LOT'S 28 & 29

McKAY'S BEACH SUBDIVISION

PER PLAT BOOK 11, PAGE 406

FOR WALTER & BARBARA BROWN

SITUATE

Second Election District

SFDD21-1442

R. VICTOR BUCKLER

Professional Land Surveyor

40562 Old Horse Landing Road

Mechanicsville, Maryland 20659

DRAWN BY DEJ

Phone: 240-925-7465

CHECKED BY RVB

Job No: SM02-61A00-05 Email: Vicb@md.metrocast.net Sheet No: 1 of 2

EXPIRES 06-15-23